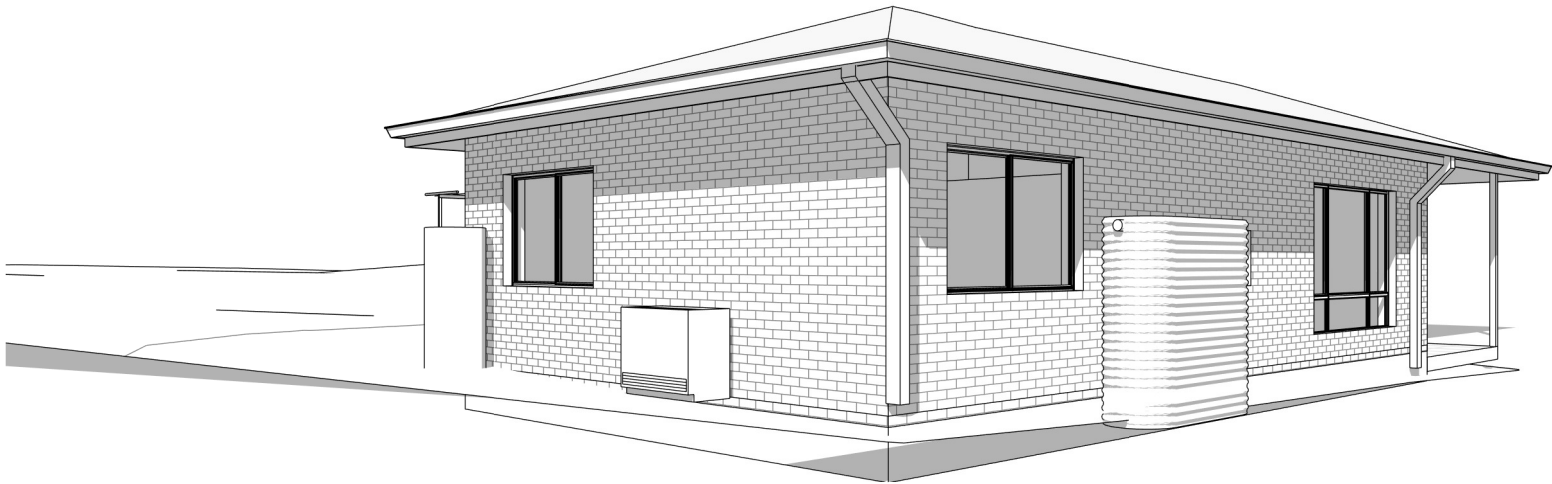
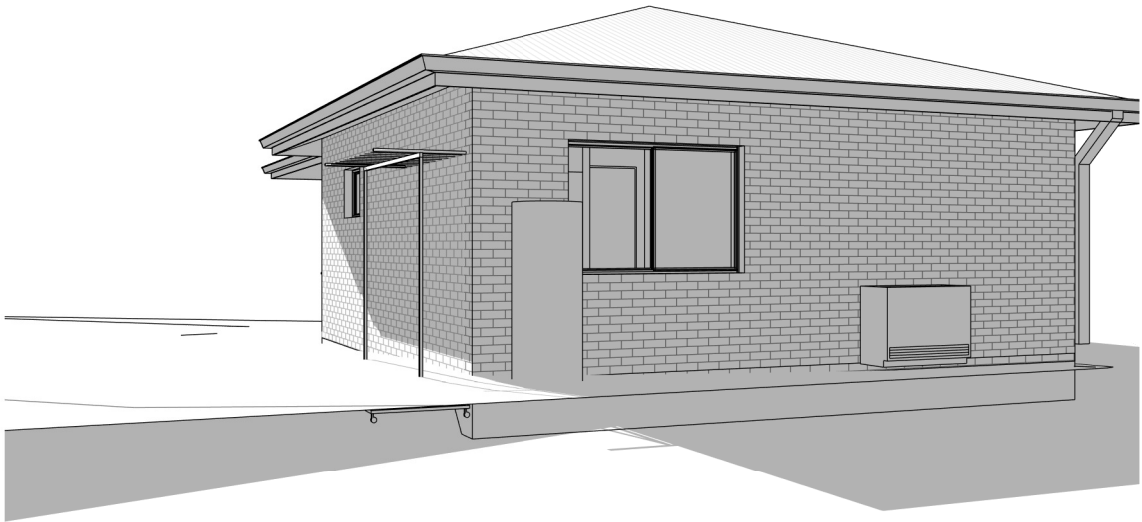
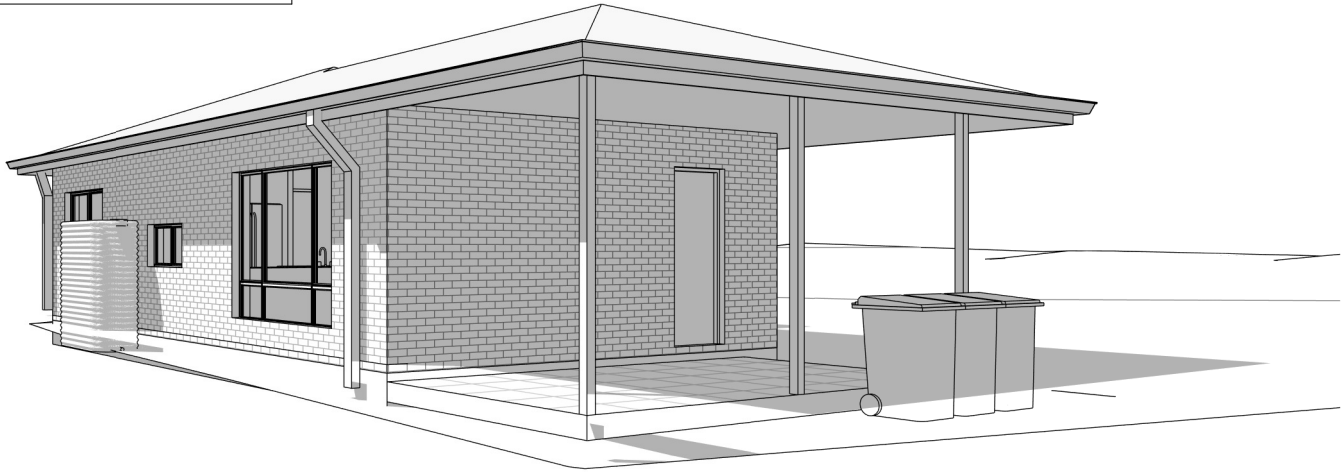
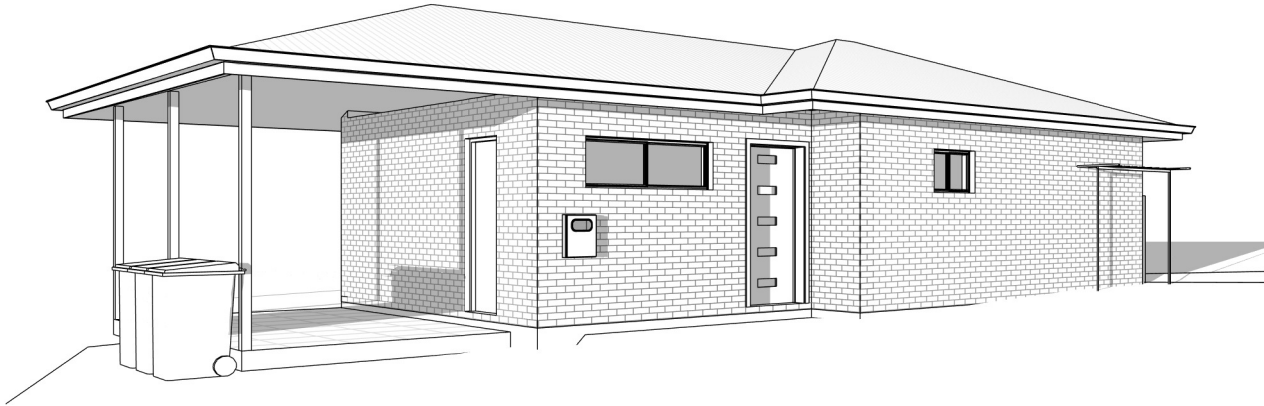


| SHEET LIST - C.C | |
|------------------|--|
| SHEET NUMBER | SHEET NAME |
| 01 | COVER |
| 02 | DEMOLITION PLAN |
| 03 | SITE PLAN / LANDSCAPE DIAGRAM / DATA TABLE |
| 04 | GROUND FLOOR PLAN |
| 05 | ROOF PLAN |
| 06 | ELEVATIONS |
| 07 | SECTION , WINDOW & DOOR SCHEDULE |
| 08 | SHADOW DIAGRAMS - WINTER SOLSTICE |
| 09 | EROSION AND SEDIMENT CONTROL PLAN |
| 10 | EROSION AND SEDIMENT CONTROL PLAN |
| 11 | LANDSCAPE PLAN |
| 13 | MATERIALS & FINISHES SCHEDULE |
| 14 | BASIX |
| 15 | BASIX |
| 16 | BASIX |
| Grand total: 15 | |



AMENDMENTS

| ISSUE | DESCRIPTION | APPROVED | SIGNED | DATE |
|-------|------------------------|----------|--------|------------|
| S1 | ISSUED FOR INFORMATION | | | 2024/08/09 |
| S2 | CLIENT REVISION | | | 2024/08/20 |
| S3 | CLIENT REVISION | | | 2024/08/27 |
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COVER

DATE

2025/02/24

SCALE @ A3

DRAWN

MT

PROJECT NUMBER

Project Number

DRAWING No.

01/

ISSUE

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PROJECT
SECONDARY DWELLING-CC

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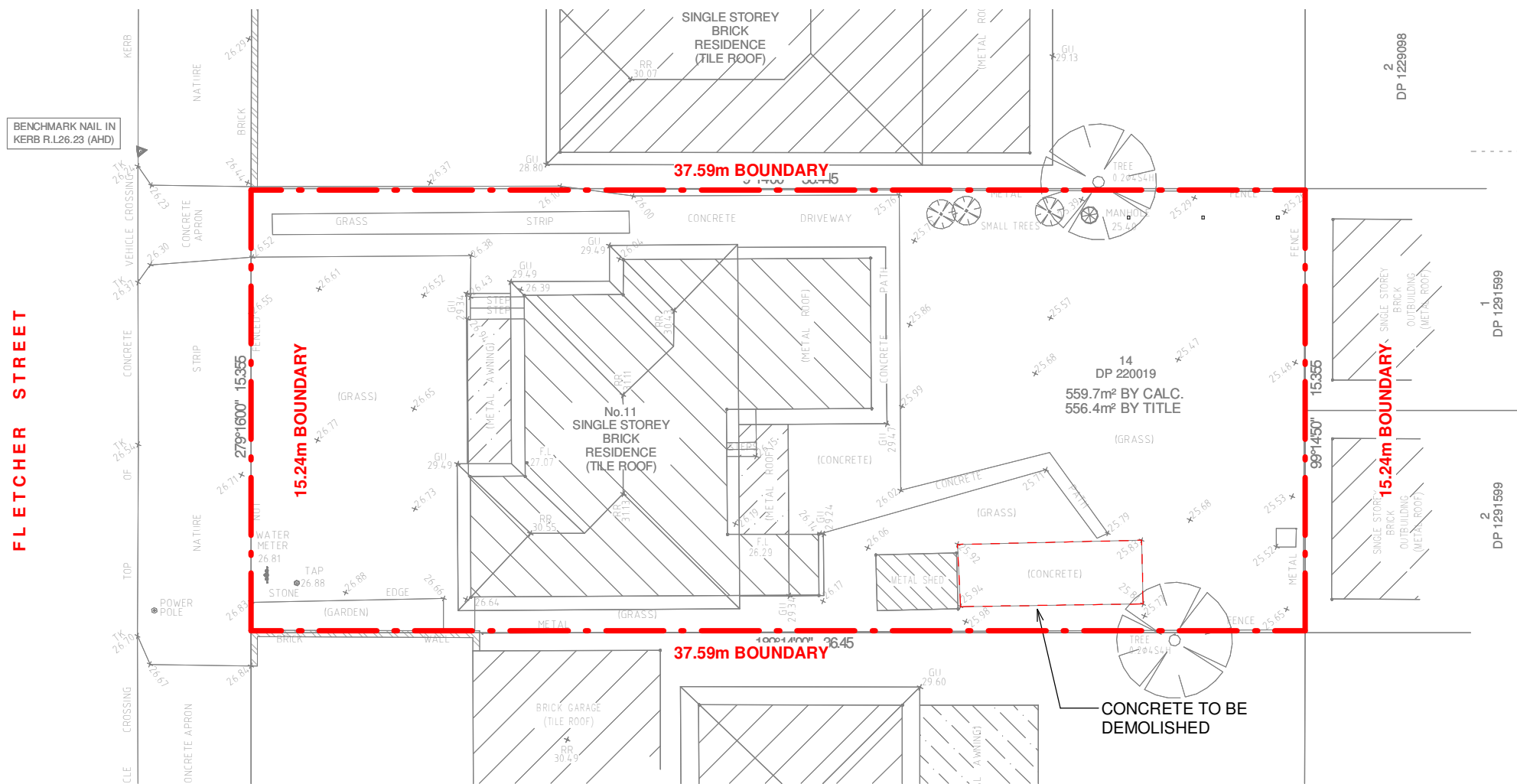
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Registration Number:

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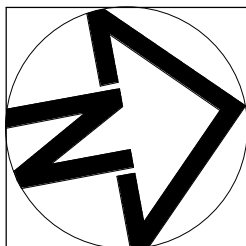


1 DEMOLITION PLAN
1 : 200

AMENDMENTS

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|-------|------------------------|----------|--------|------------|
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PROJECT NUMBER

Project Number 02/

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DRAWING No.

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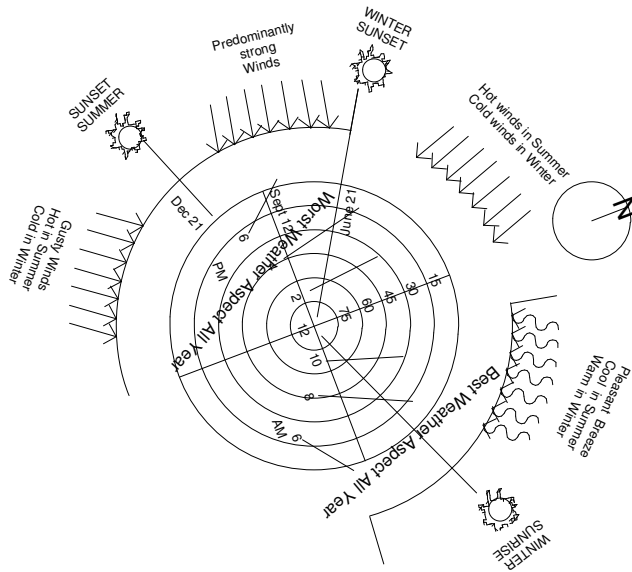
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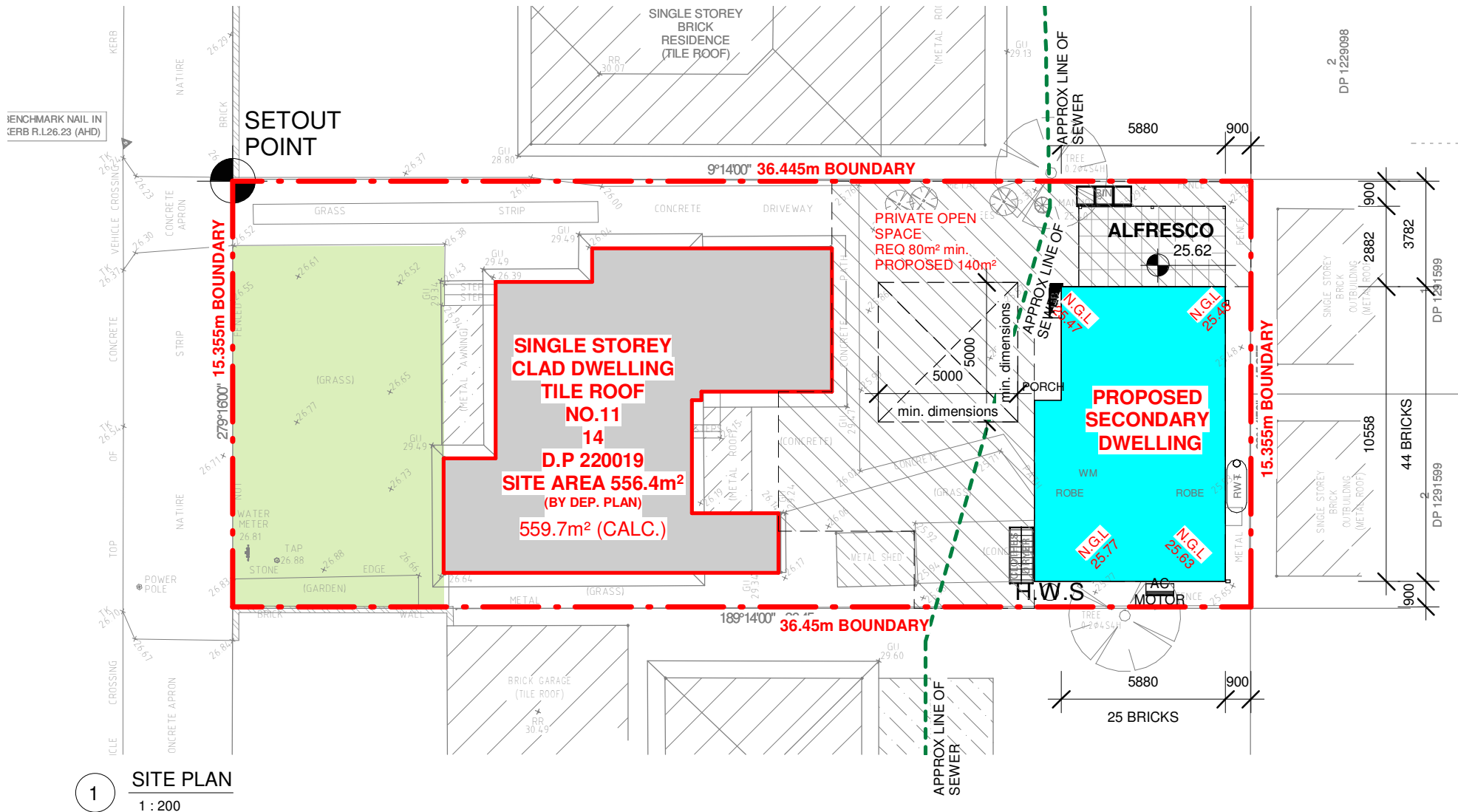
CLIMATE ANALYSIS



NOTE
SITE ANALYSIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, THE SHADOW DIAGRAM PLANS AND THE STATEMENT OF ENVIRONMENTAL EFFECTS, INCLUSIVE OF THE PHOTOGRAPHS & THE STREETSCAPE ELEVATION.

KEY LEGEND

- FLOOR WASTE
- SMOKE ALARM
- DROP EDGE BEAM LINE
- STEP UP (86mm)
- ELECTRICAL METER BOX
- GAS METER BOX
- HOT WATER SYSTEM
- AIR CONDITIONING BOX
- RECYCLED WATER TAP/WATER TAP
- MECHANICAL VENTILATION
- WASTE STACK
- MAIN HOLE

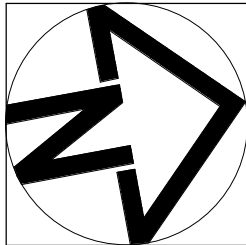


1 SITE PLAN
1 : 200

AMENDMENTS

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SITE PLAN / LANDSCAPE DIAGRAM / DATA TABLE

DATE 2025/02/24 SCALE @ A3 DRAWN MT

PROJECT NUMBER DRAWING No. ISSUE

Project Number 03/ CC2

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SECONDARY DWELLING-CC

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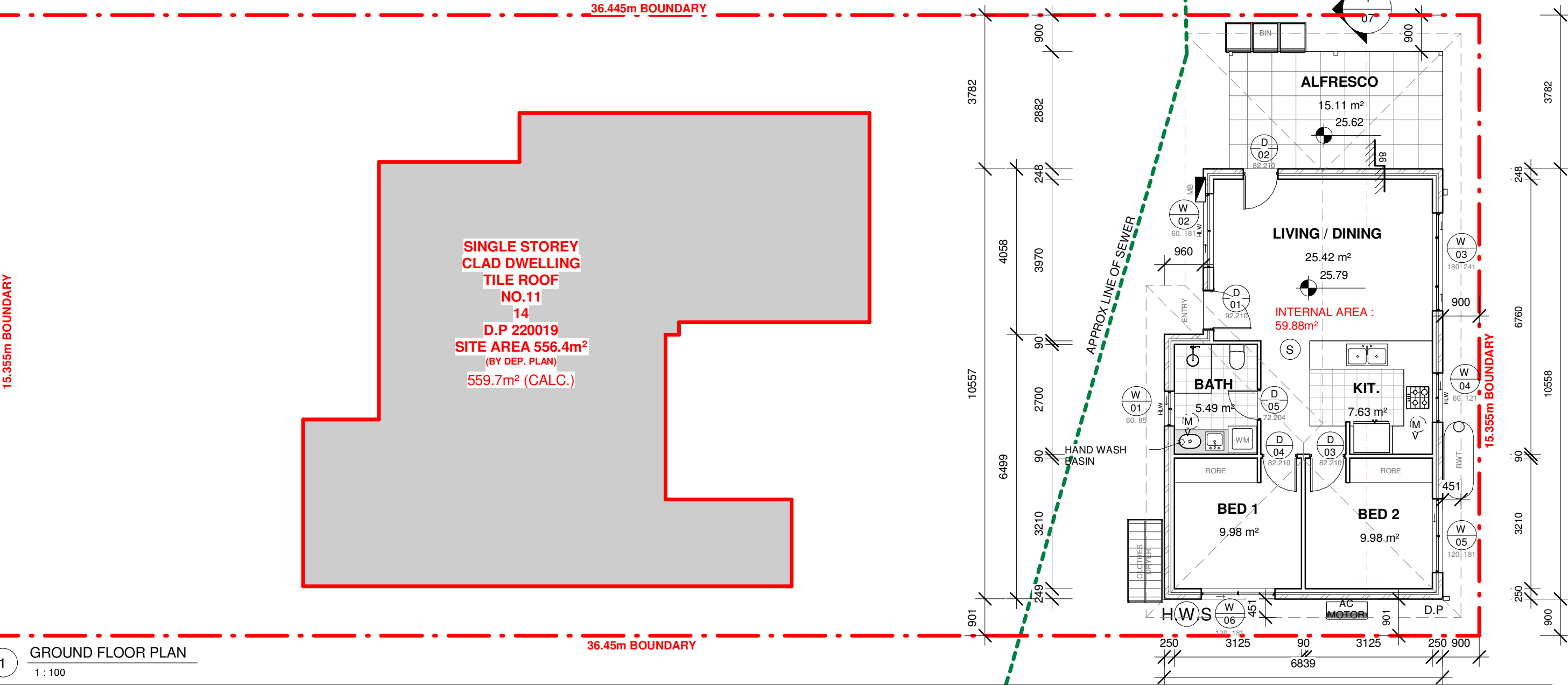
WALL LEGEND

- 90mm STUD WALL
- 270mm DOUBLE BRICK WALL
- 190mm RETAINING WALL AS PER ENGINEER'S DETAIL
- 230mm BRICK WALL
- 250mm BRICK VENEER WALL

LEGEND

- Smoke Alarm Clause 9.5.4 of Housing Provisions 2022
- Mechanical Ventilation Clause 10.6.2 of Housing Provisions 2022

NOTE: The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .
BASIX

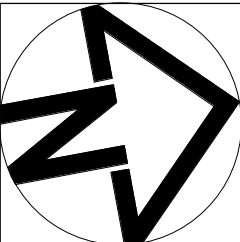


1 GROUND FLOOR PLAN
1 : 100

AMENDMENTS

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| S2 | CLIENT REVISION | | | 2024/08/20 |
| S3 | CLIENT REVISION | | | 2024/08/27 |
| S4 | CLIENT REVISION | | | 2024/08/29 |
| S5 | CLIENT REVISION | | | 2024/08/29 |
| S6 | CLIENT REVISION | | | 2024/09/02 |
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PROJECT NUMBER

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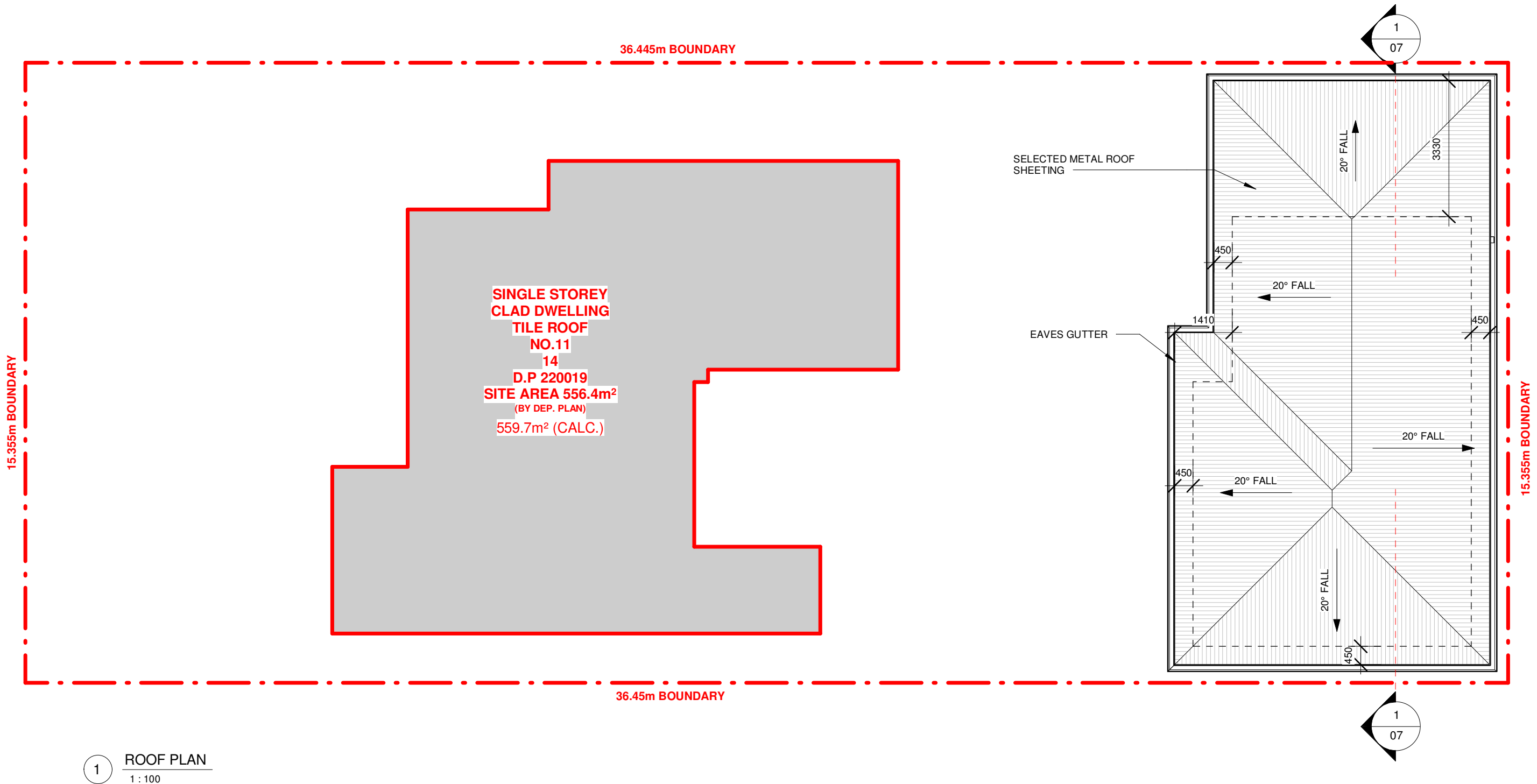
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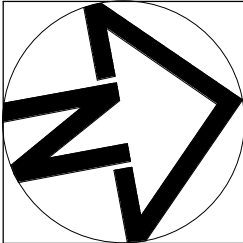


1 ROOF PLAN
1 : 100

AMENDMENTS

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ROOF PLAN

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SCALE @ A3

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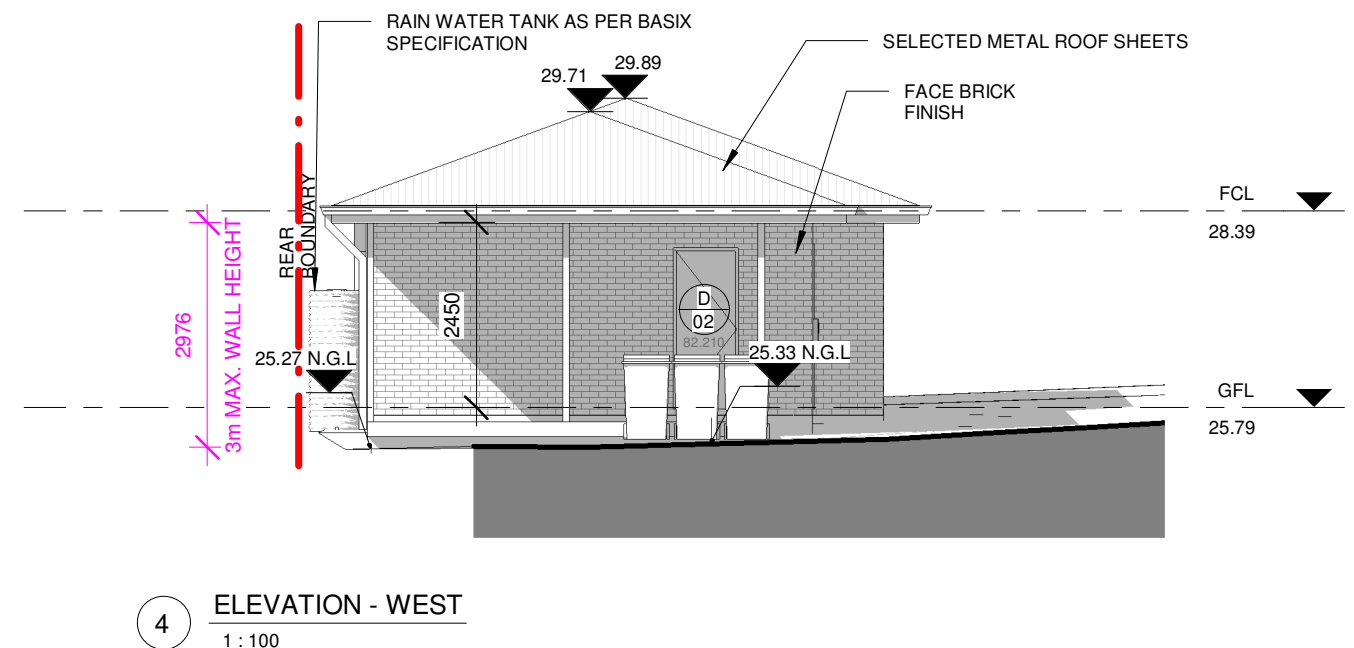
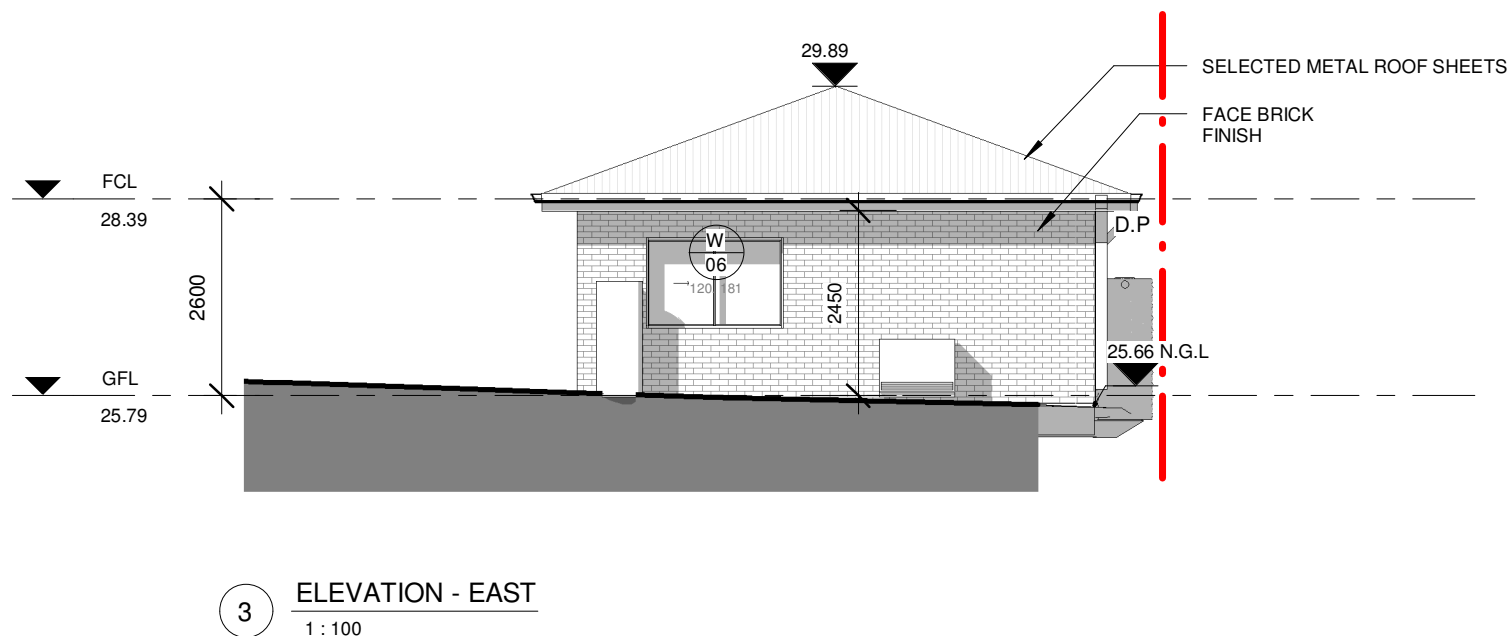
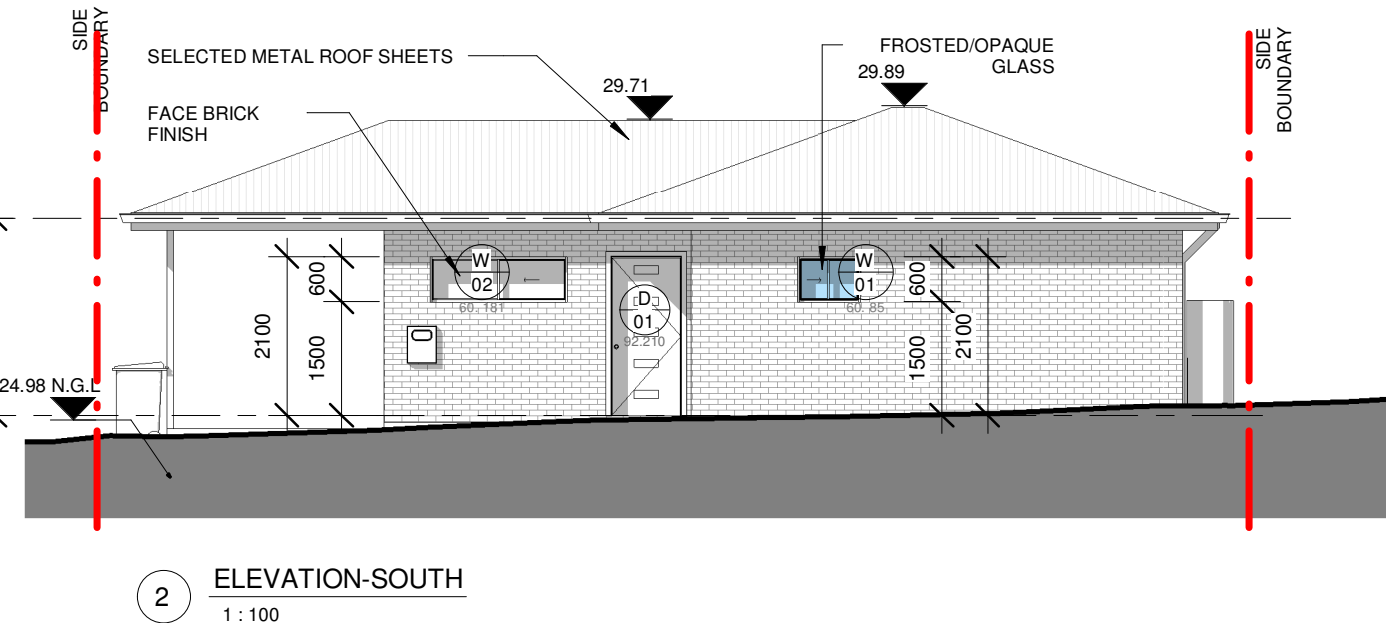
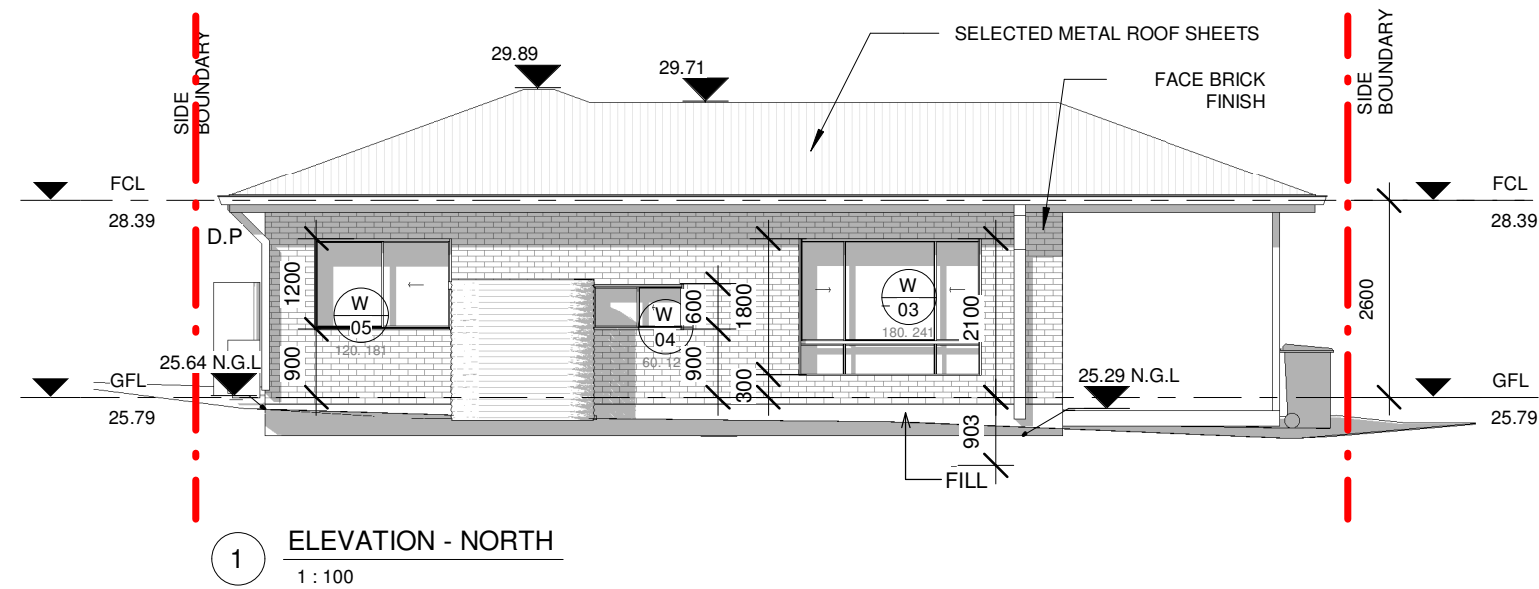
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ELEVATIONS

DATE
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PROJECT NUMBER

Project Number 06/

SCALE @ A3
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DRAWING No.
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CC2

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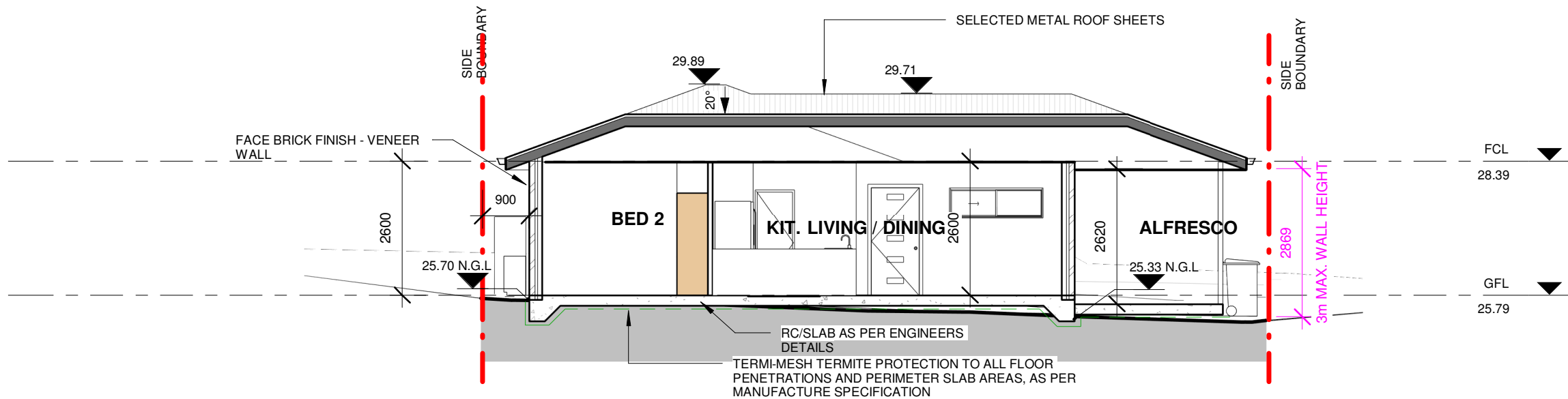
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Registration Number:

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1 SECTION-01
1 : 100

- NOTE:
- TO BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER
 - FALL PREVENTION FROM WINDOWS
 - WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5
 - MECHANICAL VENTILATION TO BE INCLUDED IN THE LAUNDRY in compliance with Clause 3.8.5.2(c)

- 1-If Opening within 1700 mm above the floor;and climbable elements between 150 and 750 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen.
- 2-If opening between 865 and 1700 mm above the floor;and no climbable elements between 150 and 760 mm above the floor,Opening must be restricted to 125 mm ;or fitted with a removable robust screen
- 3-If opening between 865 of the floor;and climbable elements between 150 and 760 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen
- 4-If no opening within 1700 mm of the floor.No restrictions apply

| DOORS SCHEDULE | | | | |
|----------------|--------|-------|---------|---|
| MARK | Height | Width | AREA | DESCRIPTION |
| 01 | 2100 | 920 | 1.93 m² | 920 - ENTRY DOOR WITH FROSTED GLAZING INSERTS |
| 02 | 2100 | 820 | 1.72 m² | 820 - HOLLOW CORE DOOR |
| 03 | 2100 | 820 | 1.72 m² | 820 - HOLLOW CORE DOOR |
| 04 | 2100 | 820 | 1.72 m² | 820 - HOLLOW CORE DOOR |
| 05 | 2040 | 720 | 1.47 m² | 720 - HOLLOW CORE DOOR |
| Grand total: 5 | | | | |

| WINDOW SCHEDULE | | | | | |
|-----------------|-------------|---------|-------------|-------------|------------------------------------|
| MARK | WINDOW SIZE | AREA | SILL HEIGHT | HEAD HEIGHT | Description |
| 01 | 600 x 850 | 0.51 m² | 1500 mm | 2100 mm | ALUMINIUM SLIDING HIGHLIGHT WINDOW |
| 02 | 600 x 1810 | 1.09 m² | 1500 mm | 2100 mm | ALUMINIUM SLIDING HIGHLIGHT WINDOW |
| 03 | 1800 x 2410 | 4.34 m² | 300 mm | 2100 mm | |
| 04 | 600 x 1210 | 0.73 m² | 900 mm | 1500 mm | ALUMINIUM SLIDING HIGHLIGHT WINDOW |
| 05 | 1200 x 1810 | 2.17 m² | 900 mm | 2100 mm | ALUMINIUM SLIDING WINDOW |
| 06 | 1200 x 1810 | 2.17 m² | 900 mm | 2100 mm | ALUMINIUM SLIDING WINDOW |
| Grand total: 6 | | | | | |

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SECTION ,WINDOW & DOOR SCHEDULE

DATE 2025/02/24 SCALE @ A3 DRAWN MT

PROJECT NUMBER DRAWING No. ISSUE

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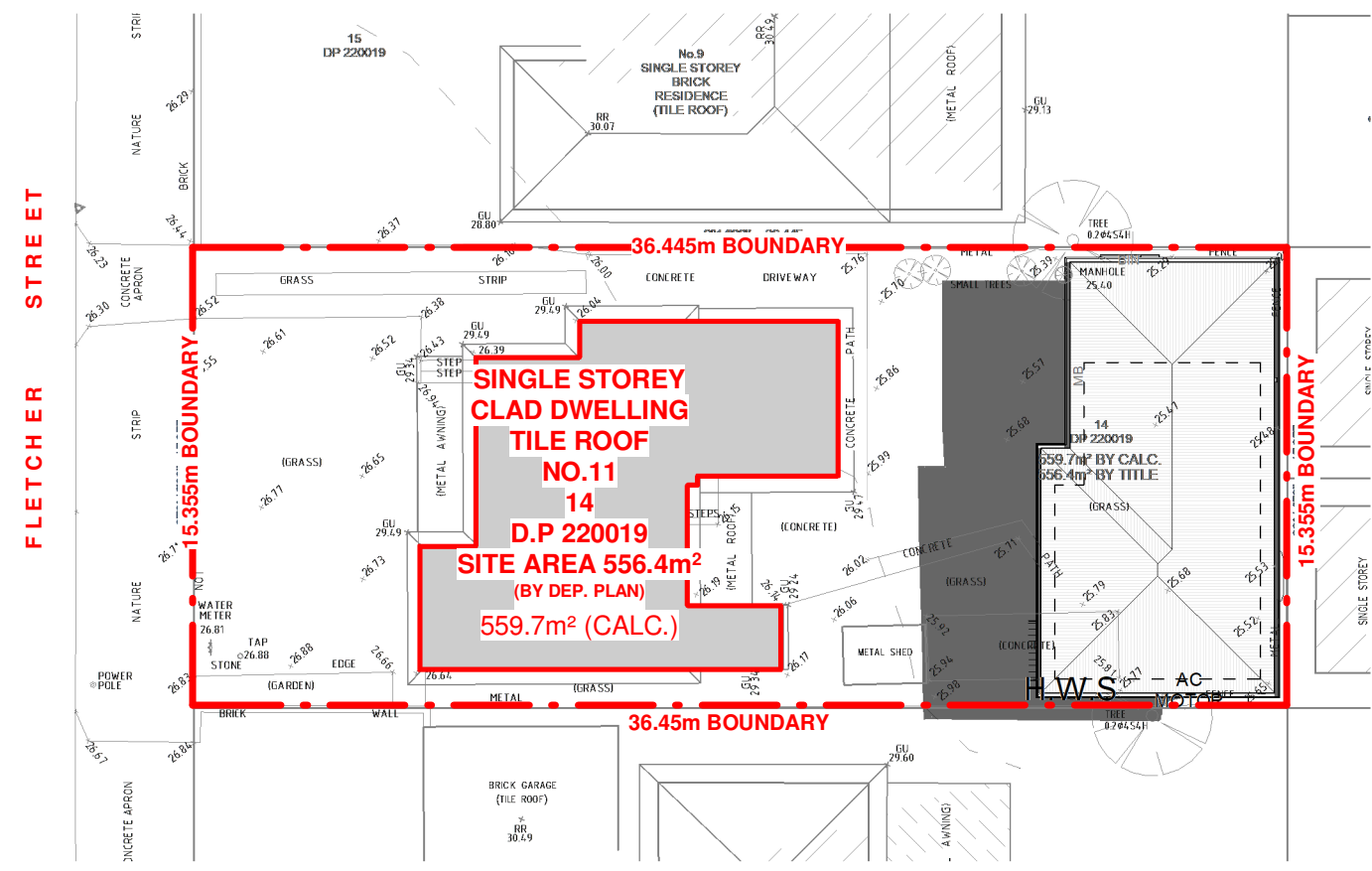
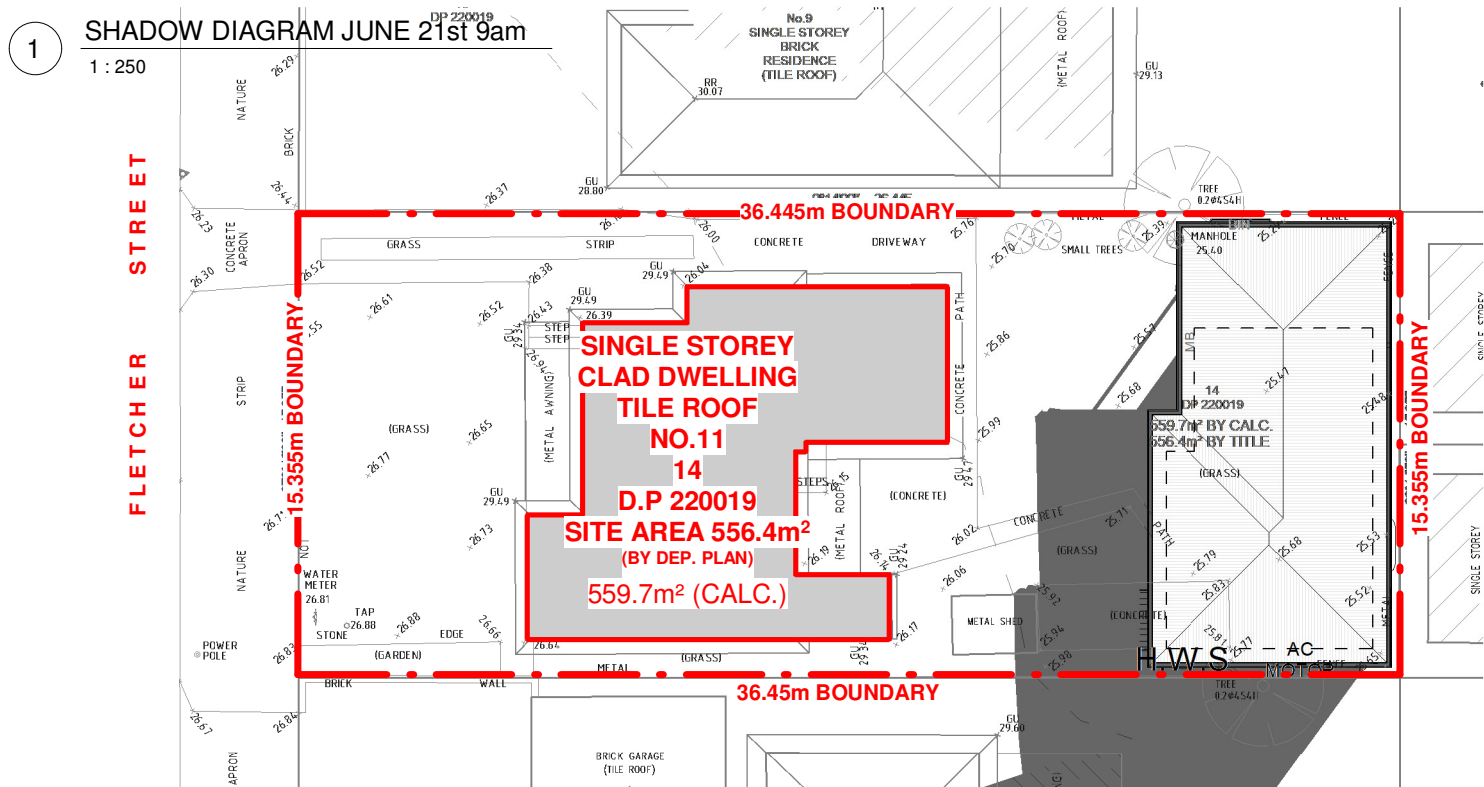
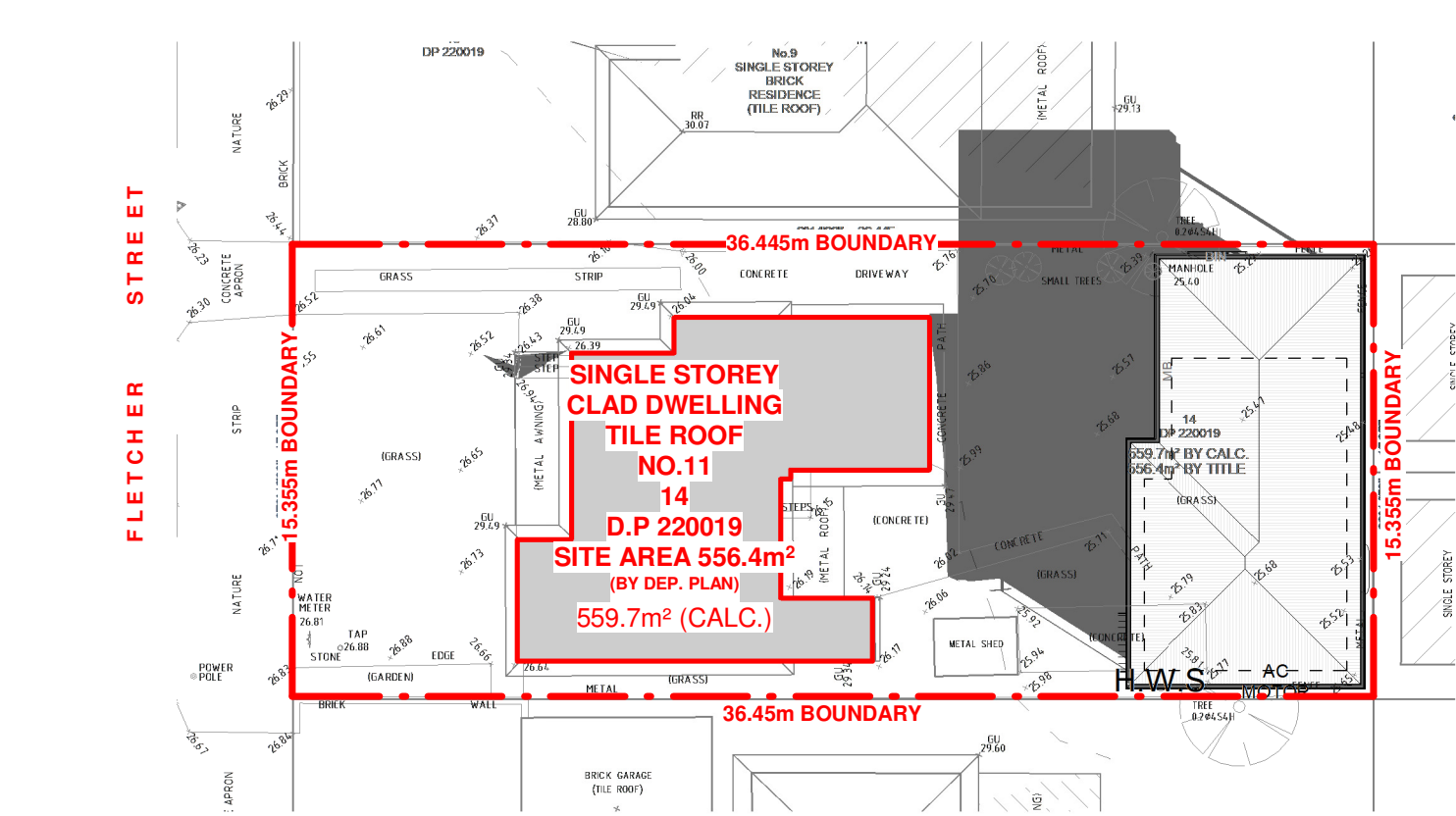
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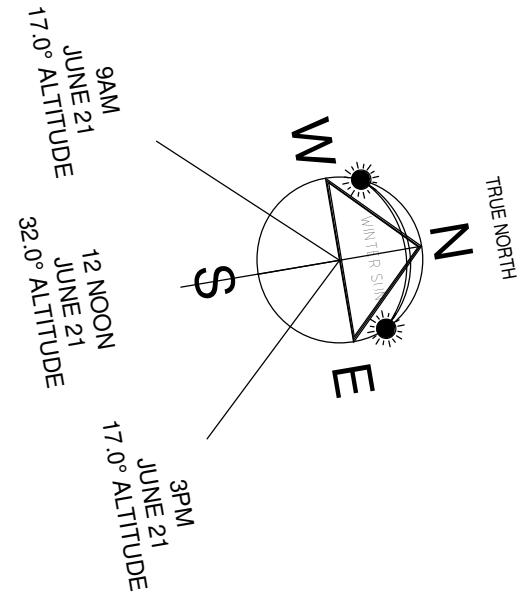
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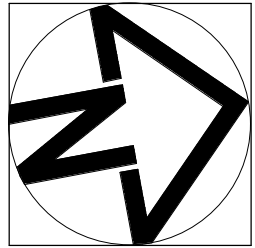
| SUN ANGLE INFORMATION | | |
|------------------------------|----------|------------|
| Winter Solstice On June 21st | | |
| TIME | ALTITUDE | AZIMUTH |
| 9 AM | 17 ° | 42° E OF N |
| 12 NOON | 32 ° | 0° NORTH |
| 3 PM | 17 ° | 42° W OF N |



AMENDMENTS

| ISSUE | DESCRIPTION | APPROVED | SIGNED | DATE |
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DRAWING TITLE
SHADOW DIAGRAMS - WINTER SOLSTICE

DATE
2025/02/24

PROJECT NUMBER
DRAWING No.

Project Number
08/

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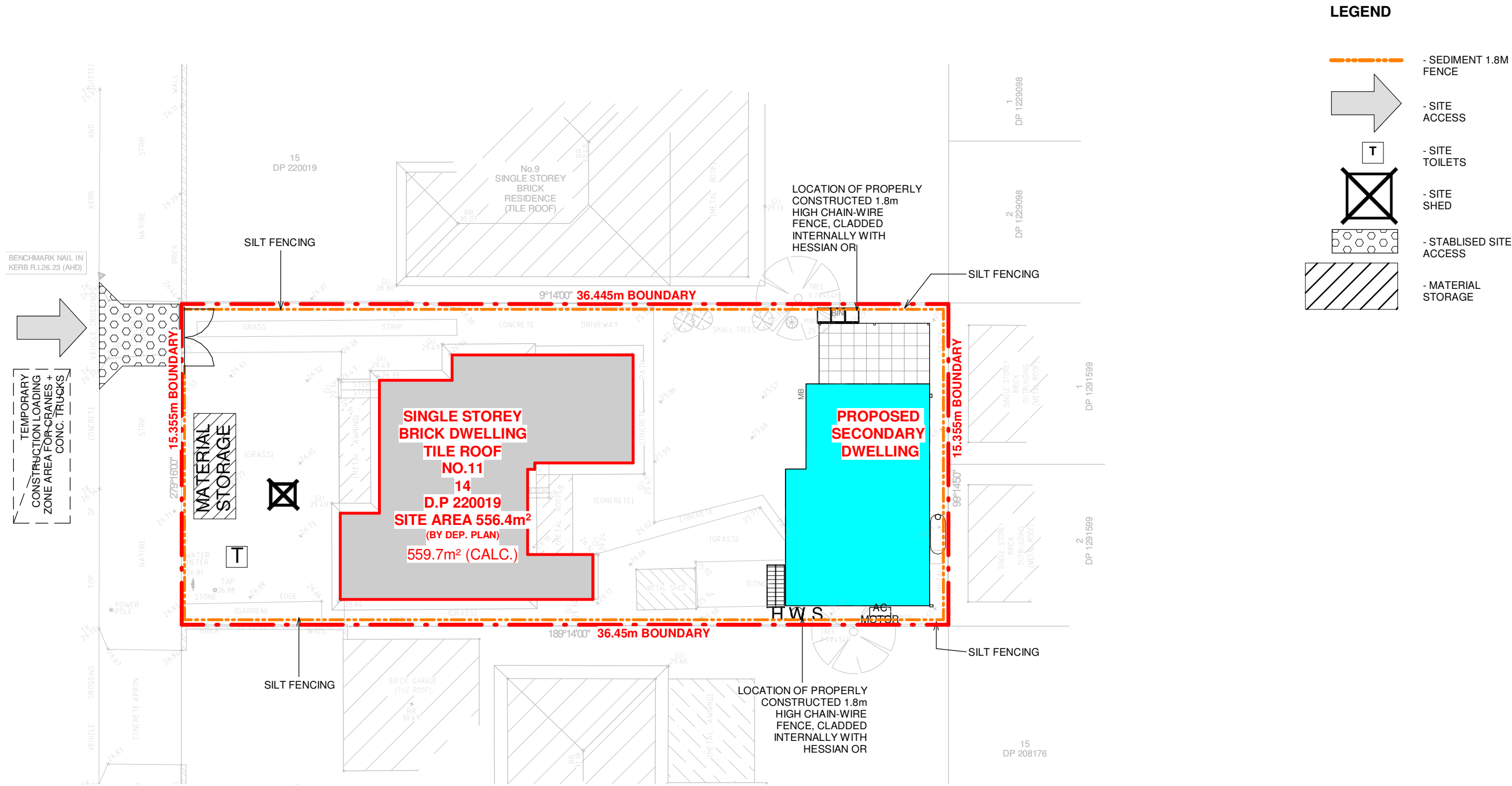
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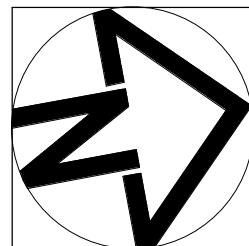


1 SOIL EROSION AND SEDIMENT CONTROL PLAN
1 : 200

AMENDMENTS

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| S1 | ISSUED FOR INFORMATION | | | 2024/08/09 |
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DRAWING TITLE
EROSION AND SEDIMENT CONTROL PLAN

DATE
2025/02/24

PROJECT NUMBER

Project Number 09/

SCALE @ A3

DRAWING No.

DRAWN
MT

ISSUE

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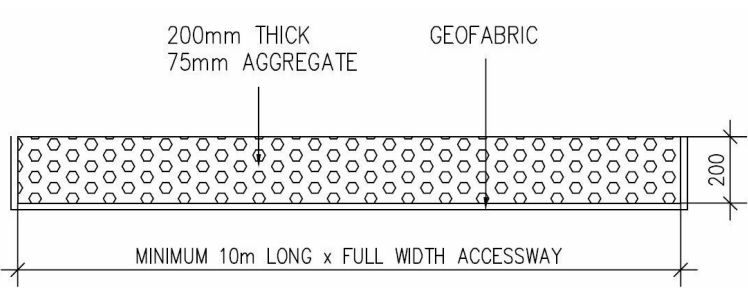
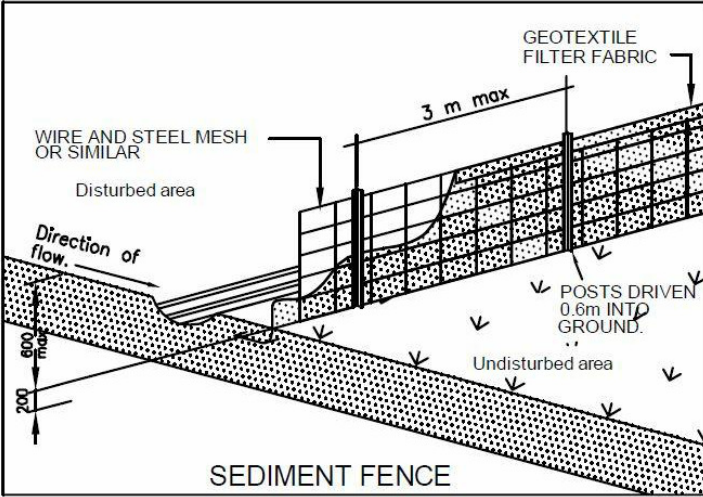
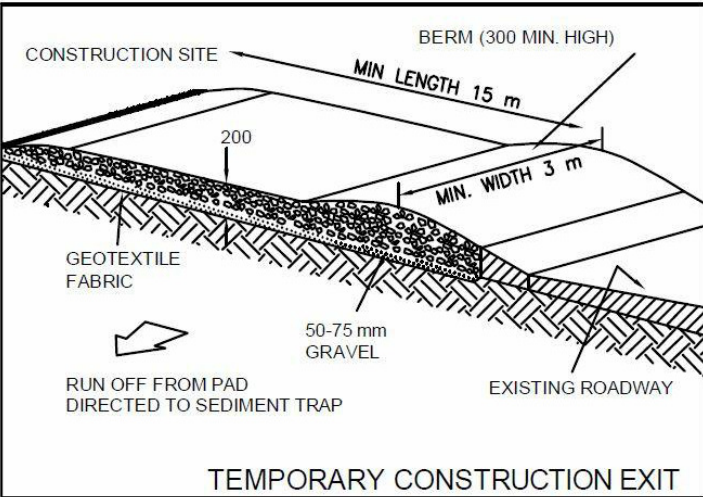
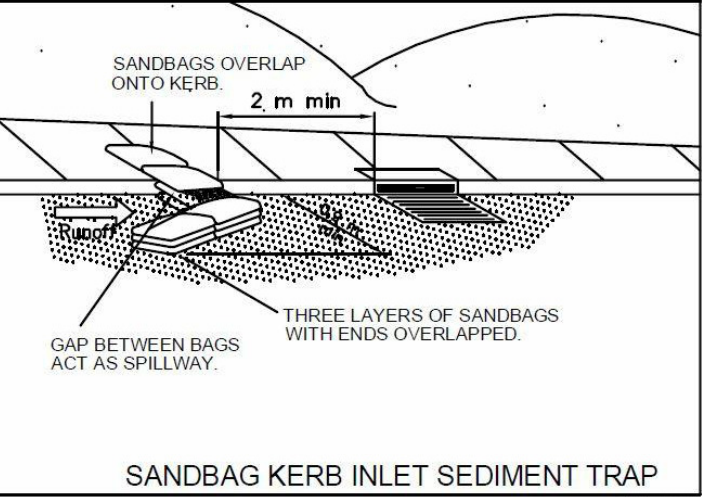
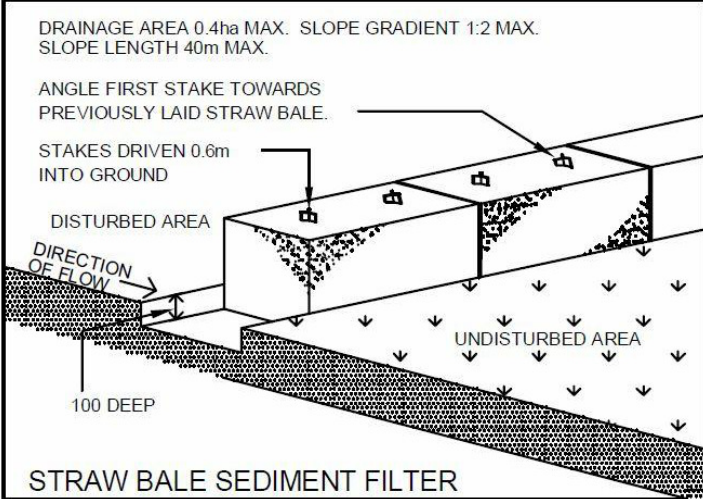
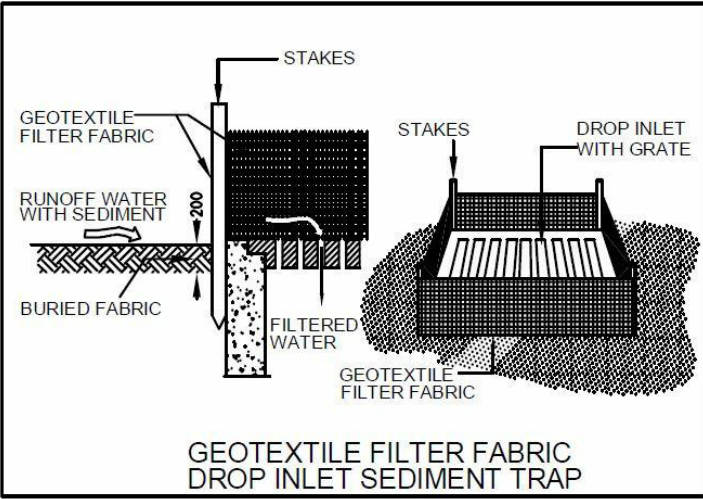
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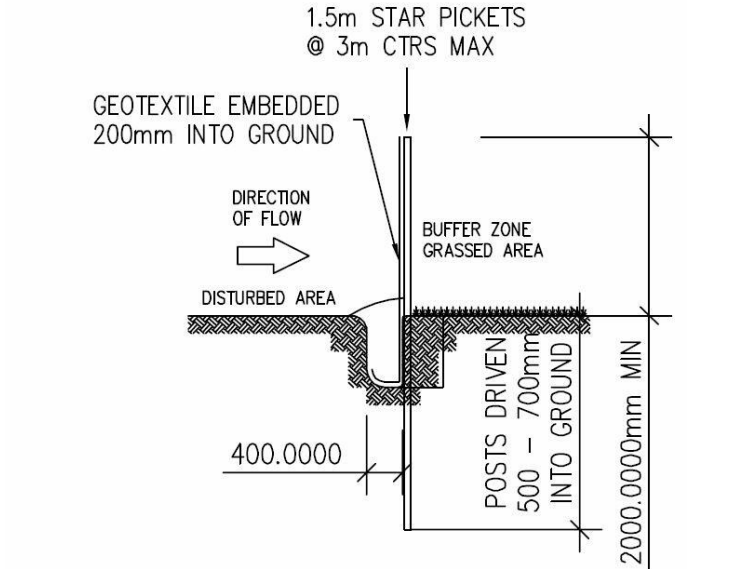
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DETAIL OF STABILISED SITE ACCESS



GEOFABRIC LINED SILT FENCE (STRUCTURE TYPE A)

NOTES

- B1. THIS PLAN TO BE READ IN CONJUNCTION WITH SEDIMENT AND EROSION. CONTROL DETAILS AS ATTACHED.
- B2. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT. CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT COUNCIL'S APPROVAL. ALL SEDIMENT AND EROSION CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS".
- B3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPIRED LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY, (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPIRED ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
- B4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES SUCH THAT MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- B5. LAY TURF STRIP (MIN 300mm WIDE) ON 100mm TOPSOIL. WITH 1.0m LONG RETURNS EVERY 6.0m BEHIND ALL KERB AT THE TOP OF ALL BATTERS AND AROUND STRUCTURES IMMEDIATELY AFTER BACKFILLING OR FORMATION.
- B6. THE CONTRACTOR SHALL GRASS SEED ALL DISTURBED AREAS WITH AN APPROVED MIX AS SOON AS PRACTICABLE AFTER COMPLETION OF EARTHWORKS AND REGRADING.
- B7. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS.
- B8. WHEN ANY DEVICES ARE TO BE HANDED OVER TO COUNCIL THEY SHALL BE B8. IN CLEAN AND STABLE CONDITION.
- B9. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN. (BUT NOT SATURATING) DISTURBED AREA.
- B10. PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS REVEGETATED OR PAVED.
- B11. REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
- B12. ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL :
- A) DOWNPIPES CONNECTED

AMENDMENTS

| ISSUE | DESCRIPTION | APPROVED | SIGNED | DATE |
|-------|------------------------|----------|--------|------------|
| S1 | ISSUED FOR INFORMATION | | | 2024/08/09 |
| S2 | CLIENT REVISION | | | 2024/08/20 |
| S3 | CLIENT REVISION | | | 2024/08/27 |
| A | DEVELOPMENT APPROVAL | | | 2024/09/09 |
| CC2 | ISSUED FOR INFORMATION | | | 2025/02/24 |

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CLIENT
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DRAWING TITLE
EROSION AND SEDIMENT CONTROL PLAN

DATE
2025/02/24

SCALE @ A3

DRAWN
MT

PROJECT NUMBER

DRAWING No.

ISSUE

Project Number 10/ CC2

PROJECT
SECONDARY DWELLING-CC

**11 Fletcher St,
Revesby
2212**

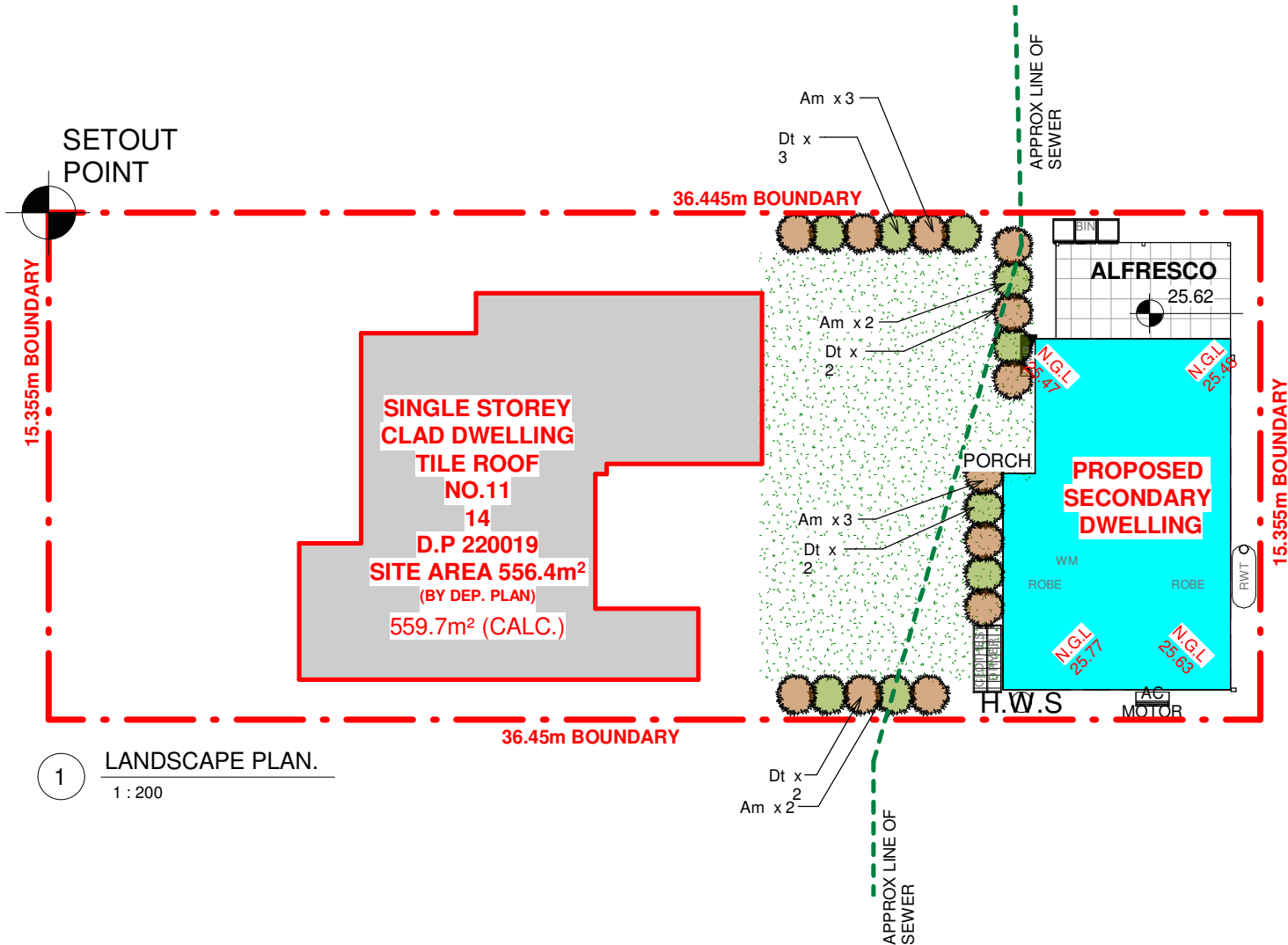
MANUEL THOMAS

NSW DESIGN PRACTITIONER

Registration Number:

DEP0001663





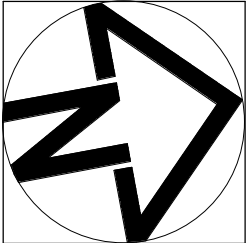
PLANT SCHEDULE

| TREES | | | | | |
|-------------------|--------------------|---------------|-----------------------|----------|----------|
| COD | BOTANICAL NAME | COMMON NAME | APPROX. MATURE HEIGHT | POT SIZE | QUANTITY |
| E T | | | | | |
| TALL & LOW SHRUBS | | | | | |
| COD | BOTANICAL NAME | COMMON NAME | APPROX. MATURE HEIGHT | POT SIZE | QUANTITY |
| E Dt | Dodonaea triquetra | Hop Bush | 2m | 5L | 7 |
| A m | Acacia myrtifolia | Myrtle Wattle | 1.5m | 5L | 10 |
| GROUNDCOVER | | | | | |
| COD | BOTANICAL NAME | COMMON NAME | APPROX. MATURE HEIGHT | POT SIZE | QUANTITY |
| E | | | | | |

AMENDMENTS

| ISSUE | DESCRIPTION | APPROVED | SIGNED | DATE |
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DRAWING TITLE
LANDSCAPE PLAN

DATE
2025/02/24

PROJECT NUMBER

Project Number 11/

SCALE @ A3

DRAWING No.

DRAWN
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PROJECT
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LEGEND




TURF




EXCAVATE / GRADE ALL AREAS TO BE TURFED TO 120MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREE TO BE RETAINED. ENSURE THAT ALL SURFACE WATER RUNOFF IS DIRECTED TOWARDS THE INLET PITS, KERBS ETC.. AND AWAY FROM BUILDINGS. ENSURE THAT NO POOLING OR PONDING WILL OCCUR. RIP TO A FURTHER DEPTH OF 150MM.




CLOTHES DRYER




"SHIRLEY'S NO.17 LAWN FERTILIZER" OVER THE TOPSOIL AT THE RECOMMENDED RATE. LAY A SINGLE COARSE OF PAVING BRICKS IN A MORTAR HAUNCH (200MM WIDE AND 100MM DEEP).




BRICK GARDEN EDGING - LOSELY BUTTED. FILL ANY SMALL GAPS WITH TOPSOIL. WATER




1800MM HIGH COLORBOND FENCE: IN CURVES AND STRAIGHT LINE AS SHOWN ON THE PLAN. WHERE TIGHT CURVES ARE SHOWN USE HALF BRICKS TO SHOW A MORE EVEN CURVE. THE TOP OF THE EDGE IS TO FINISH FLUSH WITH THE ADJACENT TURF AND MULCH LEVELS.




PLANTING AREAS



ENSURE THAT THE MASS PLANTING AREAS HAVE BEEN EXCAVATED TO 300 BELOW FINISHED LEVELS. RIP TO A FURTHER DEPTH OF 150MM. SUPPLY AND INSTALL 300MM SOIL MIX.

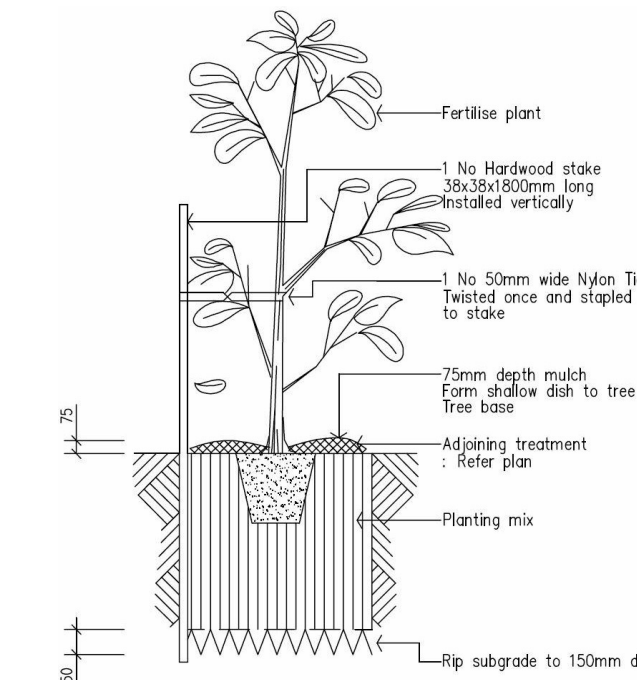


EXISTING TREES TO BE REMOVED: ART APPROVED COMPOST TO THREE PARTS TOPSOIL. TOPSOIL SHALL BE EITHER IMPERBBLESOPSOIL OR STOCKPILED SITE TOPSOIL (IF SUITABLE IE: NO CLAY) INSTALL 75MM DEPTH OF SELECTED MULCH.



EXISTING TREES TO BE RETAINED: CONCRETE

NOTE: MAINTENANCE:
ALL LANDSCAPE WORKS ARE TO BE MAINTAINED FOR A PERIOD OF THREE MONTHS FROM THE DATE OF PRACTICAL COMPLETION. THIS INCLUDES ALL WATERING, WEEDING, SPRAYING AND RE-MULCHING NECESSARY TO ACHIEVE VIGOROUS GROWTH. ANY DEFECTS WHICH ARISE DURING THIS PERIOD ARE TO BE RECTIFIED IMMEDIATELY. ANY PLANTS OR AREAS OF TURF WHICH FAIL DURING THIS PERIOD ARE TO BE REPLACED AT NO ADDITIONAL COST.



15 – 35 litre Tree planting Detail. Not.To.Scale.

Fertilise plant

1 No Hardwood stake 38x38x1800mm long Installed vertically

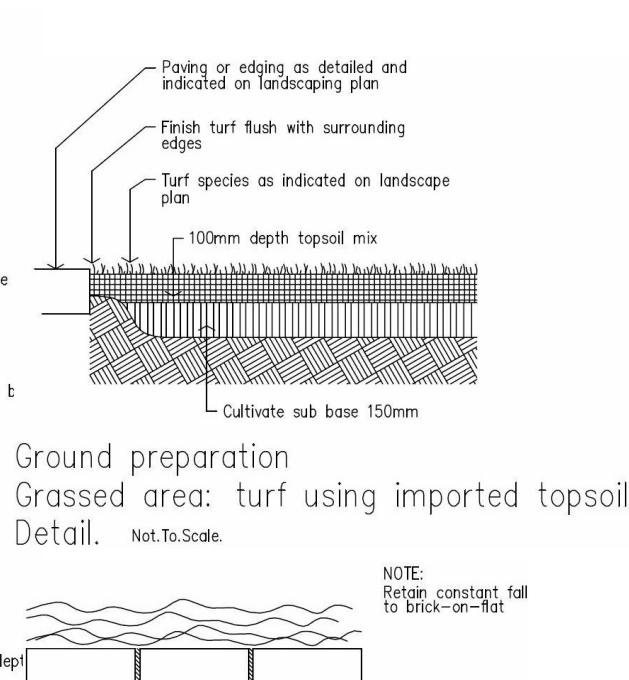
1 No 50mm wide Nylon Tie Twisted once and stapled to stake

75mm depth mulch Form shallow dish to tree base

Adjoining treatment : Refer plan

Planting mix

Rip subgrade to 150mm depth



Ground preparation Grassed area: turf using imported topsoil Detail. Not.To.Scale.

Paving or edging as detailed and indicated on landscaping plan

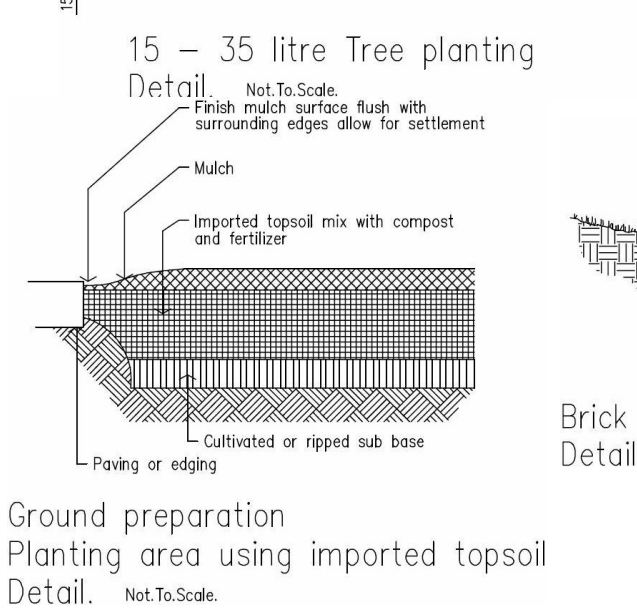
Finish turf flush with surrounding edges

Turf species as indicated on landscape plan

100mm depth topsoil mix

Cultivate sub base 150mm

NOTE: Retain constant fall to brick-on-flat



Brick garden edge Detail. Not.To.Scale.

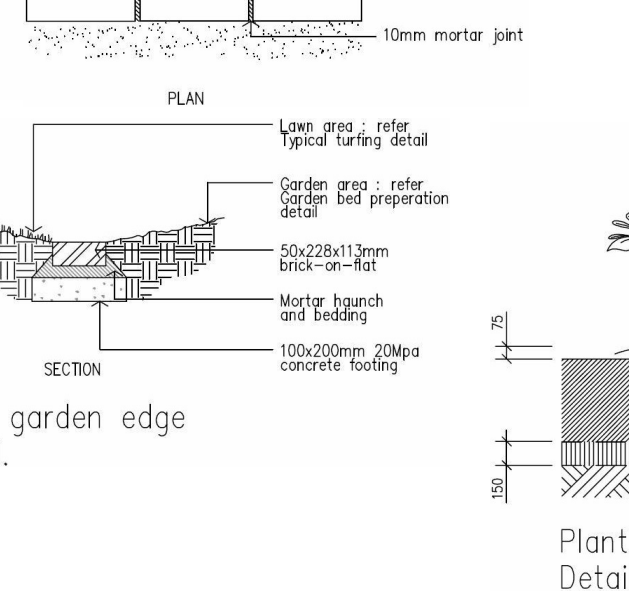
Finish mulch surface flush with surrounding edges allow for settlement

Mulch

Imported topsoil mix with compost and fertilizer

Cultivated or ripped sub base

Paving or edging



PLAN

SECTION

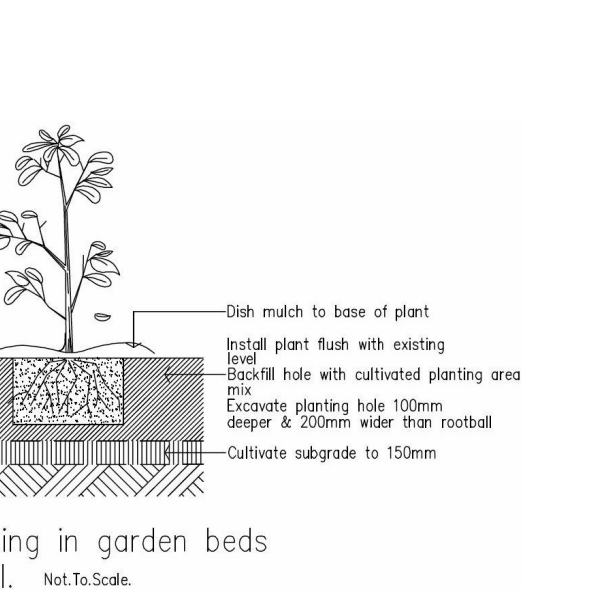
Lawn area : refer Typical turfing detail

Garden area : refer Garden bed preparation detail

50x228x113mm brick-on-flat

Mortar haunch and bedding

100x200mm 20Mpa concrete footing



Planting in garden beds Detail. Not.To.Scale.

Dish mulch to base of plant

Install plant flush with existing level

Backfill hole with cultivated planting area mix

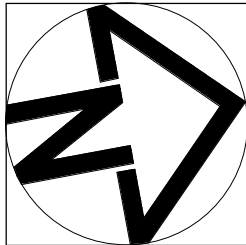
Excavate planting hole 100mm deeper & 200mm wider than rootball

Cultivate subgrade to 150mm

AMENDMENTS

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LANDSCAPE DETAILS

DATE
2025/02/24

PROJECT NUMBER

Project Number 12/

SCALE @ A3

DRAWING No.

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PROJECT
SECONDARY DWELLING-CC

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2212

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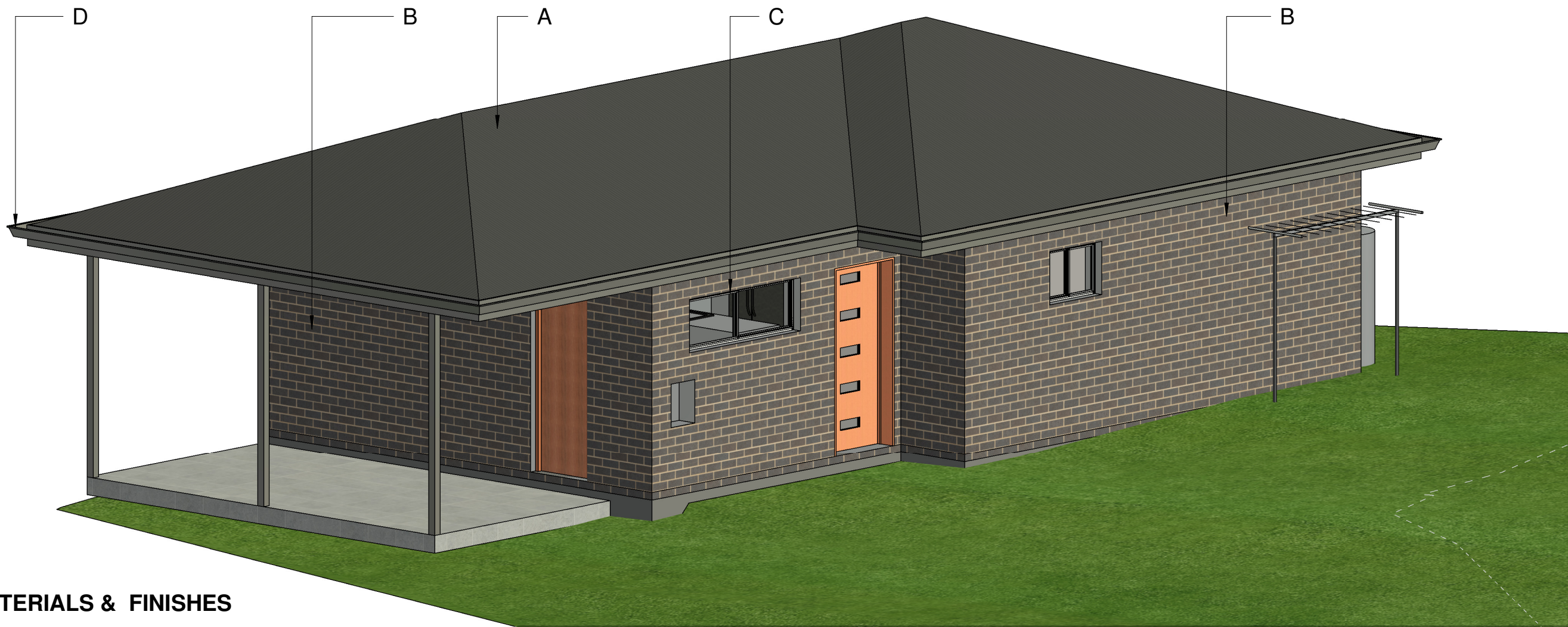
Registration Number:

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MATERIALS & FINISHES

LEGEND

MATERIAL SCHEDULE



- COLORBOND METAL SHEET ROOF - SURFMIST



- BRICK FINISH FACE (DARK COLOUR)



- ALUM GREY WINDOW FRAME



- SELECTED GUTTERS & FASCIAS

AMENDMENTS

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DRAWING TITLE
MATERIALS & FINISHES SCHEDULE





DATE 2025/02/24 SCALE @ A3 DRAWN MT

PROJECT NUMBER DRAWING No. ISSUE
Project Number 13/ CC2

11 Fletcher St,
Revesby
2212

PRELIMINARY DO NOT USE
FOR CONSTRUCTION



| Project summary | | |
|---------------------------|--|-------------|
| Project name | Revesby - Secondary Dwelling - Nouhad_02 | |
| Street address | 11 FLETCHER Street REVESBY 2212 | |
| Local Government Area | Canterbury-Bankstown Council | |
| Plan type and plan number | Deposited Plan DP220019 | |
| Lot no. | 14 | |
| Section no. | - | |
| Project type | dwelling house (detached) - secondary dwelling | |
| No. of bedrooms | 2 | |
| Project score | | |
| Water |  40 | Target 40 |
| Thermal Performance |  Pass | Target Pass |
| Energy |  71 | Target 68 |
| Materials |  8 | Target n/a |

| Project address | |
|---|--|
| Project name | Revesby - Secondary Dwelling - Nouhad_02 |
| Street address | 11 FLETCHER Street REVESBY 2212 |
| Local Government Area | Canterbury-Bankstown Council |
| Plan type and plan number | Deposited Plan DP220019 |
| Lot no. | 14 |
| Section no. | - |
| Project type | |
| Project type | dwelling house (detached) - secondary dwelling |
| No. of bedrooms | 2 |
| Site details | |
| Site area (m²) | 556 |
| Roof area (m²) | 105 |
| Conditioned floor area (m²) | 54.39 |
| Unconditioned floor area (m²) | 5.49 |
| Total area of garden and lawn (m²) | 200 |
| Roof area of the existing dwelling (m²) | 150 |
| Number of bedrooms in the existing dwelling | 3 |

AMENDMENTS

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| S2 | CLIENT REVISION | | | 2024/08/20 |
| S3 | CLIENT REVISION | | | 2024/08/27 |
| A | DEVELOPMENT APPROVAL | | | 2024/09/09 |
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DATE
2025/02/24

PROJECT NUMBER

Project Number 14/

SCALE @ A3

DRAWING No.

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PROJECT
SECONDARY DWELLING-CC

11 Fletcher St,
Revesby
2212

MANUEL THOMAS

NSW DESIGN PRACTITIONER

Registration Number:

DEP0001663



| Assessor details and thermal loads | | | |
|--|-----|------|-------------|
| NatHERS assessor number | n/a | | |
| NatHERS certificate number | n/a | | |
| Climate zone | n/a | | |
| Area adjusted cooling load (MJ/ m².year) | n/a | | |
| Area adjusted heating load (MJ/ m².year) | n/a | | |
| Project score | | | |
| Water | ✔ | 40 | Target 40 |
| Thermal Performance | ✔ | Pass | Target Pass |
| Energy | ✔ | 71 | Target 68 |
| Materials | ✔ | 8 | Target n/a |

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the development. | | ✔ | ✔ |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Do-it-yourself Method | | | |
| General features | | | |
| The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys. | ✔ | ✔ | ✔ |
| The conditioned floor area of the dwelling must not exceed 300 square metres. | ✔ | ✔ | ✔ |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. | ✔ | ✔ | ✔ |
| The dwelling must not contain third level habitable attic room. | ✔ | ✔ | ✔ |
| Floor, walls and ceiling/roof | | | |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. | ✔ | ✔ | ✔ |
| The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling. | ✔ | ✔ | ✔ |
| The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below. | | | ✔ |

| Construction | Area - m² | Additional insulation required | Options to address thermal bridging | Other specifications |
|--|--------------------|--|-------------------------------------|---|
| floor - concrete slab on ground, conventional slab. | 68 | nil;not specified | nil | |
| external wall: brick veneer; frame: timber - untreated softwood. | all external walls | 2.44 (or 3.00 including construction);fibreglass batts or roll | nil | wall colour: Dark (solar absorptance 0.71-0.85) |
| internal wall: plasterboard; frame: timber - untreated softwood. | 23 | fibreglass batts or roll | nil | |

| Construction | Area - m² | Additional insulation required | Options to address thermal bridging | Other specifications |
|---|-----------|--|-------------------------------------|--|
| ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - untreated softwood. | 105 | ceiling: 5.7 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking. | nil | roof space ventilation: unventilated; roof colour: medium (solar absorptance 0.48-0.59); 0.5 to ≤ 1.0% of ceiling area uninsulated |

| | |
|------|--|
| Note | • Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code. |
| Note | • If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code. |
| Note | • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. |
| Note | • Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code. |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Ceiling fans | | | |
| The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room. | ✔ | ✔ | ✔ |
| • The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code . | ✔ | ✔ | ✔ |

AMENDMENTS

| ISSUE | DESCRIPTION | APPROVED | SIGNED | DATE |
|-------|------------------------|----------|--------|------------|
| S2 | CLIENT REVISION | | | 2024/08/20 |
| S3 | CLIENT REVISION | | | 2024/08/27 |
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PROJECT NUMBER

Project Number

SCALE @ A3

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15/

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PROJECT
SECONDARY DWELLING-CC

11 Fletcher St,
Revesby
2212

MANUEL THOMAS

NSW DESIGN PRACTITIONER

Registration Number:

DEP0001663



| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Glazed windows, doors and skylights | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door. | ✓ | ✓ | ✓ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | ✓ | ✓ | ✓ |
| • The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table. | ✓ | ✓ | ✓ |
| • Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | ✓ | ✓ |
| • Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. | ✓ | ✓ | ✓ |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). | ✓ | ✓ | ✓ |

| Glazed window/door no. | Maximum height (mm) | Maximum width (mm) | Frame and glass specification | Shading device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--|---|------------------|
| North facing | | | | | |
| W04 | 600.00 | 1210.00 | aluminium, single glazed (U-value: <=3.5, SHGC: 0.22 - 0.27) | eave 450 mm, 350 mm above head of window or glazed door | not overshadowed |
| W05 | 1200.00 | 1810.00 | aluminium, single glazed (U-value: <=3.5, SHGC: 0.27 - 0.33) | eave 450 mm, 350 mm above head of window or glazed door | not overshadowed |
| W03 | 600.00 | 1810.00 | aluminium, double glazed (U-value: <=3.5, SHGC: 0.22 - 0.27) | eave 450 mm, 350 mm above head of window or glazed door | not overshadowed |

| Glazed window/door no. | Maximum height (mm) | Maximum width (mm) | Frame and glass specification | Shading device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|---|---|------------------------|
| East facing | | | | | |
| W06 | 1200.00 | 1810.00 | thermally broken aluminium, single glazed (U-value: <=3.0, SHGC: 0.22 - 0.27) | eave 450 mm, 350 mm above head of window or glazed door | >4 m high, <2 m away |
| South facing | | | | | |
| W01 | 600.00 | 850.00 | aluminium, single glazed (U-value: Undecided, SHGC: Undecided) | eave 450 mm, 350 mm above head of window or glazed door | >4 m high, 8-12 m away |
| W02 | 600.00 | 1810.00 | thermally broken aluminium, single glazed (U-value: Undecided, SHGC: Undecided) | eave 450 mm, 350 mm above head of window or glazed door | >4 m high, 8-12 m away |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5.5 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label) | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label) | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label) | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label) | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, open to façade; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ ✓ ✓ | ✓ ✓ ✓ |
| Artificial lighting | | | |
| The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | ✓ | ✓ | ✓ |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | ✓ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | ✓ | |

AMENDMENTS

| ISSUE | DESCRIPTION | APPROVED | SIGNED | DATE |
|-------|-------------|----------|--------|------|
| | | | | |

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